

OXFORD PLANNING COMMISSION

AGENDA

December 14, 2021 – 7:00 PM

Conducted virtually through Zoom

1. **Opening** – Jonathan Eady, Chair
2. **Minutes** – The minutes for November 9, 2021 will be provided later.
3. ***202 Fletcher Street – Minor Subdivision of Tax Parcel X011 014** – Mr. Michael Geiger, R.L.S. is making a request for this parcel to be subdivided as presented on the attached survey. There is a question as to whether the concrete slab needs to be removed since it would now create a violation of the setback requirement and appears to extend beyond the property boundary. If it were to remain, it would create a non-conformity that will have to be dealt with later when the property is improved.
4. ***316 Hillcrest Street – Accessory Structure Installation** – Mr. Monty Hill has been contracted to erect an accessory structure at this address.
5. ***107 E. Soule Street – Repair** – Mr. Frank Kitchens has been contracted to replace some wiring, a kitchen sink, cabinetry and general repair to a house which had some fire damage.
6. **Other Business**
7. **Adjournment**

*** Attachments**

MEMBERS OF THE PLANNING COMMISSION: Jonathan Eady, Chair; Zach May, Vice-Chair; Juanita Carson, Secretary; Mike McQuaide, Jeremy Baker, and Mike Ready.

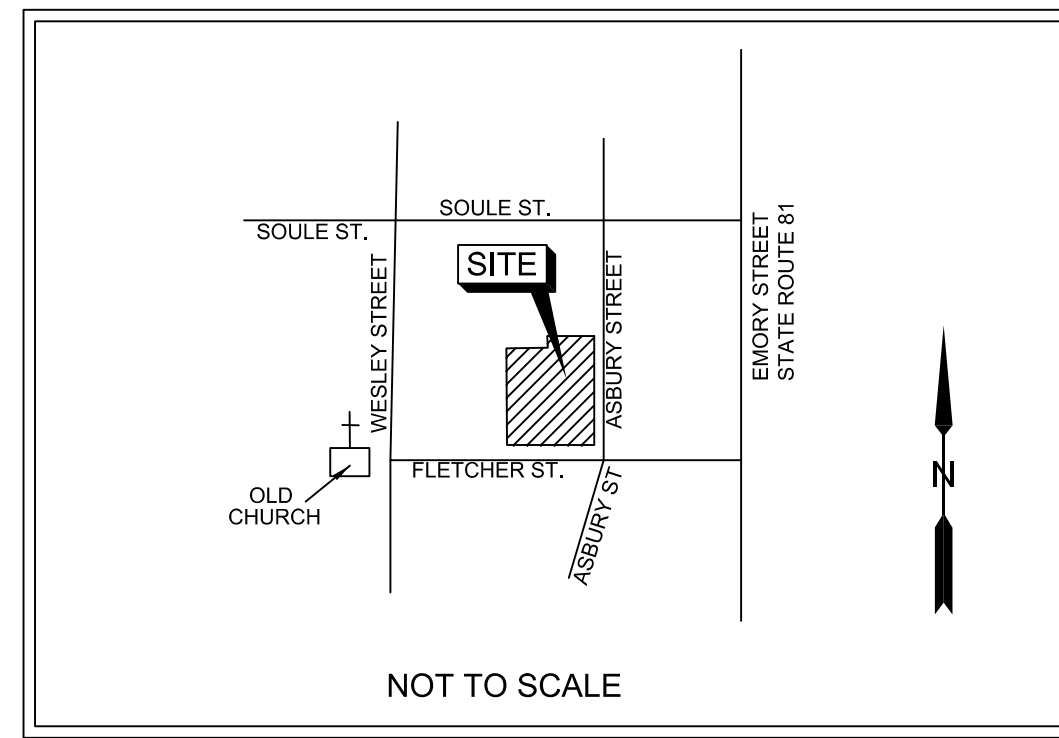
REVIEW COPY ONLY

RESERVED FOR THE CLERK OF COURT

LEGEND:

- POB Point of Beginning
DB Deed Book
PB Plat Book
POC Point of Commencement
R/W Right of Way
WM Water Meter
Conc. Concrete
OHP Overhead Power Line
GM Gas Meter
N/F Now or formerly
CLF Chain Link Fence
CO Sewer Cleanout
PP Power Pole
IPS Iron Pin Set 1/2" re-bar with 3342 cap
Delta Point Not Monumented

VICINITY MAP



CITY OF OXFORD APPROVAL:

THIS FINAL PLAT HAS BEEN REVIEWED BY CITY OF OXFORD STAFF FOR COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF OXFORD ZONING ORDINANCE AND IS HEREBY APPROVED BY THE DIRECTOR OR HIS/HER DESIGNEE.

DIRECTOR DATE

OWNERS CERTIFICATION:

STATE OF GEORGIA, CITY OF OXFORD, COUNTY OF NEWTON. THE OWNER OF THIS LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT ALL STATE, CITY, AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID IN FULL.

PATRICIA LYNN BOHANAN DATE

TAX ASSESSORS CERTIFICATION:

THE PINS AND ADDRESSES HAVE BEEN ADDED AND APPROVED BY THE NEWTON COUNTY, GEORGIA TAX ASSESSORS OFFICE.

GIS TECHNICIAN DATE

ZONING INFORMATION:

PARENT TRACT PARCEL X011 014
AREA OF PARENT TRACT: 2.063 ACRES / 89,916 SQ.FT.
TOTAL AREA OF NEW LOT 1: 30,033 SQ.FT. / 0.689 AC.
TOTAL AREA OF NEW LOT 2: 55,773 SQ.FT. / 1.280 AC.
TOTAL AREA OF NEW LOT 3: 4,110 SQ.FT. / 0.094 AC.
ZONED R-30 INFILL OVERLAY
SEWAGE DISPOSAL BY PUBLIC SEWER
PUBLIC WATER IS AVAILABLE FROM CITY OF OXFORD
MINIMUM HOUSE SIZE IS 2000 SQ. FEET OF HEATED FLOOR SPACE.
MINIMUM LOT SIZE IS 30,000 SQUARE FEET
MINIMUM LOT WIDTH IS 100 FEET
R-30 ZONING SETBACK
ALONG FLETCHER ST.: 20 FEET
ALONG ASBURY ST.: 10 FEET
SIDE: 15 FEET
REAR: 30 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET
MAXIMUM BUILDING COVERAGE: 20%

The field data upon which this plat is based has a closure precision of one foot in 200,086.5 feet and an angular error of 0.57 second per angle point and was adjusted by the compass rule.

This plat has been calculated for closure and is found to be accurate within one foot in at least 96,449 feet.

Field equipment:

Nikon NPL 322+ Total Station
TDS Nomad Data Collector

All distances are horizontal ground distances.

SURVEYORS CERTIFICATION:

AS REQUIRED BY SUBSECTION (d) OF OCGA SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO THE INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IS GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

PRELIMINARY REVIEW COPY

MICHAEL RAY GEIGER GEORGIA R.L.S. No. 3342 DATE

REVIEW COPY ONLY

SURVEYED BY: MICHAEL R GEIGER
GA RLS No. 3342
15 WELLSLEY DRIVE
COVINGTON, GA 30014
(470)330-7253
geiger_mr@yahoo.com

OWNER INFORMATION:

OWNER/DEVELOPER:

PATRICIA LYNN BOHANAN
P.O. BOX 477
OXFORD, GA 30054

PHONE: (770)365-4677

VESTING DEED: DEED BOOK 695 PAGES 314 & 315

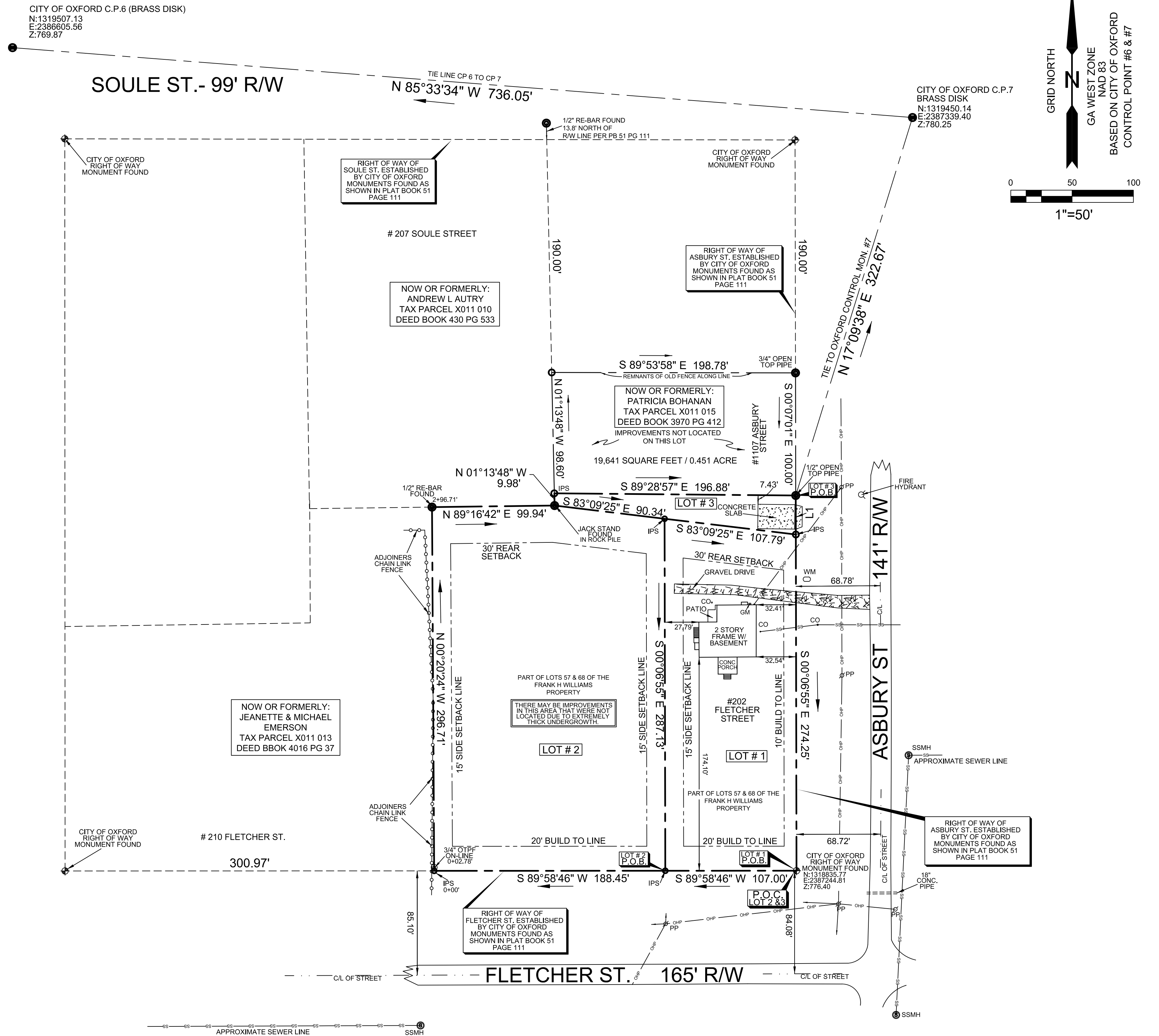
THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A COMPLETE TITLE SEARCH. EASEMENT AND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY.

DATE OF LAST FIELD WORK: 10/19/2021
DATE OF DRAWING: 11/15/2021

UTILITIES SHOWN ON THIS PLAT ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY.

PER THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS RULE 108-6-6.09(2), THE TERM CERTIFICATION AS USED IN BOARD RULE 108-6-6.09(2) AND (3) AND RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON THE FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESS OR IMPLIED.

WESLEY ST. - 165' R/W



LOT AREA CHART:

Table with 2 columns: Lot # and Area. Lot #1: 30,033 SQUARE FEET / 0.689 ACRE. Lot #2: 55,773 SQUARE FEET / 1.280 ACRES. Lot #3: 4,110 SQUARE FEET / 0.094 ACRE (TO BE COMBINED WITH TAX PARCEL X011 015) AFTER COMBINATION TAX PARCEL X011 015 WILL BE 23,751 SQUARE FEET / 0.545 ACRE

LINE DATA CHART: Table with 3 columns: LINE, BEARING, DISTANCE. L1 | S 00°06'55" E | 31.81'



Table with 2 main sections: REVISIONS (DATE, DESCRIPTION) and MINOR SUBDIVISION SURVEY FOR: PATRICIA LYNN BOHANAN 202 FLETCHER STREET, OXFORD, GEORGIA. Includes TAX PARCEL X011 014 and a grid with SURVEYOR, FIELD BOOK, L.L. DIST., COUNTY, SCALE, DRAWN BY, DESIGNED BY, CHECKED BY, APPROVED BY, DATE, and SHEET 1 of 1.



DEVELOPMENT PERMIT APPLICATION

*This is **NOT** a Building Permit but, is a requirement for an application to the City of Oxford Building Inspector for the appropriate required Building Permit. All items must be completed, or marked N/A. See the attached Checklist. The completed form must be submitted 10 days before the next meeting of the Planning Commission.*

GENERAL INFORMATION

Name of Applicant: Monty Hill Date of Application: 12/07/2021

Address of Applicant: 390 Forest Road Covington, GA 30016

Telephone # (s) of Applicant: 404-392-1350

Address / Subdivision / Lot# / Parcel#(s) where the proposed work will occur (list all): 316 Hillcrest Drive Oxford, GA

Owner of above location(s): Kenneth Alexander

Name of General Contractor (if different from Applicant): _____

Type of work: New building Addition Alteration Renovation Repair Moving
 Land Disturbance Demolition Other

Type of dwelling: Single Family Multi-family Included Apartment Number of units:

Briefly describe the proposed work: Build a new 12 x 36 wood frame accessory structure behind existing building to be used as a residential structure for one person. Total square footage 432 total heated square footage 400. Existing structure to be shored and boarded up to prevent further damage to building.

Does the proposed work change the footprint (ground outline) of any existing structures? YES NO

Does the proposed work add a structure(s)? YES NO

List additions to: Heated Sq.ft. _____ Unheated Sq.ft. _____ Garage Sq.ft. _____ New Sq.ft. 432

Is the above lot in the Special Flood Hazard Area on FEMA's Flood Insurance Rate Map? Yes No
(Map available from City Clerk)

ZONING DISTRICT (the setback requirements and the zoning map are available from the City Clerk)

Zoning District ~~R30~~ R - 20

Setback Requirements:

Front setback ~~45~~N/A ft. Side setback 10 ft. Rear setback ~~45~~10 ft.

Minimum required lot width at building line ~~135~~ 100 feet

MECHANICAL INFORMATION (if utility work is included in the proposed work)

A) Sewerage: Is there a change? Yes No City Sewer Septic If so, describe: extend existing sewer to new structure

B) Water Supply: Is there a change? Yes No City Water Well If so, describe: extend existing water to new structure

C) Number of Restrooms (Commercial): Is there a change? Yes No Full Half If so, describe: _____

D) Number of Baths (Residential): Is there a change? Yes No Full Half If so, describe: _____

E) Heating: Is there a change? Yes No Electric Gas Oil Propane Other If so, describe: _____

F) Electrical: number of outlets

STRUCTURAL INFORMATION

Type of Foundation: Moveable Pier & Footer Slab on grade Basement Other

Type of Construction: Frame Masonry Structural Insulated Panel Insulated Concrete Form
 Panelized Industrialized Manufactured

SITE PLAN DRAWINGS (required for changes to the footprint of existing structures)

- A) Attach an accurate scale drawing or copy of official plat showing shape, size, dimensions, and location of the lot. Note the Zoning District on all drawings.
- B) Show the applicable minimum setback lines on all drawings, and the dimensions from the existing and proposed structure(s) to the lot lines.
- C) Attach a dimensioned drawing, showing the location of any proposed work that changes, or adds to the footprint of any structure(s) on the site.
- D) The following dimensions below **MUST** be included on the drawings:
 - Width of lot at proposed work location 150 feet Width of new work 12 feet
 - Depth of lot at proposed work location 135 feet Length of new work 36 feet
 - Height of new work feet (the maximum habitable area is 35’ above grade for R districts; 45’ in PI districts)

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW IT TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THE TYPE OF WORK WILL BE FOLLOWED. GRANTING OF PLANNING APPROVAL DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL ORDINANCE OR REGULATION REGARDING CONSTRUCTION, OR THE PERFORMANCE OF CONSTRUCTION.

Monty Hill
Signature of Applicant

----- OFFICIAL USE ONLY -----
DEVELOPMENT PERMIT

Date Received by Zoning Administrator: December 7, 2021
Date Reviewed by the Planning Commission: December 14, 2021

The proposed work contemplated by this application meets the appropriate development standards for the Zoning District noted above. **This is not a building permit in Oxford.**

Approved by: _____ Date: _____
 Planning Commission

Development approval is hereby issued, and the applicant is authorized to apply for a building permit with the City of Oxford Building Inspector. **This Development Approval expires six months from the date issued.**

Issued by: _____ Date: _____
 Zoning Administrator

NOTE: This document must be accompanied by all supporting documentation, also signed by the Planning Commission, for consideration by the City of Oxford Building Inspector for a building permit. (Form October, 2018)

CITY OF OXFORD

Checklist Applying for a Development Permit

1. Obtain a Development Permit Application from the City Clerk's office.
2. Complete the Application and attach a site plan (either drawn by a professional or sketched on graph paper) with dimensions showing:
 - Shape, size and location of the lot.
 - Shape, size, height, use and location of the buildings to be erected, constructed, altered or moved, as well as any building(s) already existing on this building lot.
 - Indicate how many dwelling units the building(s) are designed to accommodate.
 - Setback lines from adjoining streets and lots.
3. Submit the completed Application to the City Clerk's office.
4. All corners of the lot and any proposed building must be clearly staked out on the ground.
5. The City Clerk will give the application to the Zoning Administrator to review and to schedule a review by the Planning Commission.
6. The regular meetings of the Planning Commission are on the second Tuesday of each month at 7 PM. The applicant will be notified when the application is scheduled for review. The Planning Commission will not review the application unless the applicant or a representative is present at the meeting. A picture or diagram of what is proposed will help the Planning Commission review the request.
7. If the application is approved, an approved copy will be given to the applicant by the Planning Commission.
8. The City of Oxford is responsible for issuing the Building Permit and collecting any required fees. A copy of the approved Development Permit is required before a Building Permit can be issued. The applicant should contact the city's Zoning Administrator (770-786-7004) to determine if a building permit and inspections are required. If a building permit is required, the applicant should bring the approved Development Permit to City Hall to exchange for the necessary building permit(s), and to schedule the inspection.

The foregoing checklist is a brief summary and does not modify or amend the Oxford Zoning Ordinance. See Section 40-841 of the Oxford Zoning Ordinance for a detailed description of the process for applying for a development permit and building permit.

Hilcrest Dr

FRONT

#0
Parcel: OX6-10

150'

135'

#316
Parcel: OX6-9

Existing
House
960 SQ FT

45'

~~135'~~
135'

#0
Parcel: OX6-1

36'
New
Structure

12'

45 Feet From
Rear Property Line.

30'

15' FROM
SIDE PROPERTY LINE.

150'

#314
Parcel: OX6-8

316 Hillcrest Street

Path forward on Construction of an
Accessory Structure



316
Hillcrest
Street -
Property
Location

150 ft side yard

133 ft back yard



316
 Hillcrest
 Street –
 Approx.
 .46 acres

Current Conditions:

- 1) No utilities
- 2) Roof collapsing



Proposed Elevation

Comments from
Monty Hill, Builder:

Attached you will find a picture and a floor plan of the structure that I am wanting to put at 316 Hillcrest Drive for Mr. Alexander. Do you think this is something that the City of Oxford may agree to?

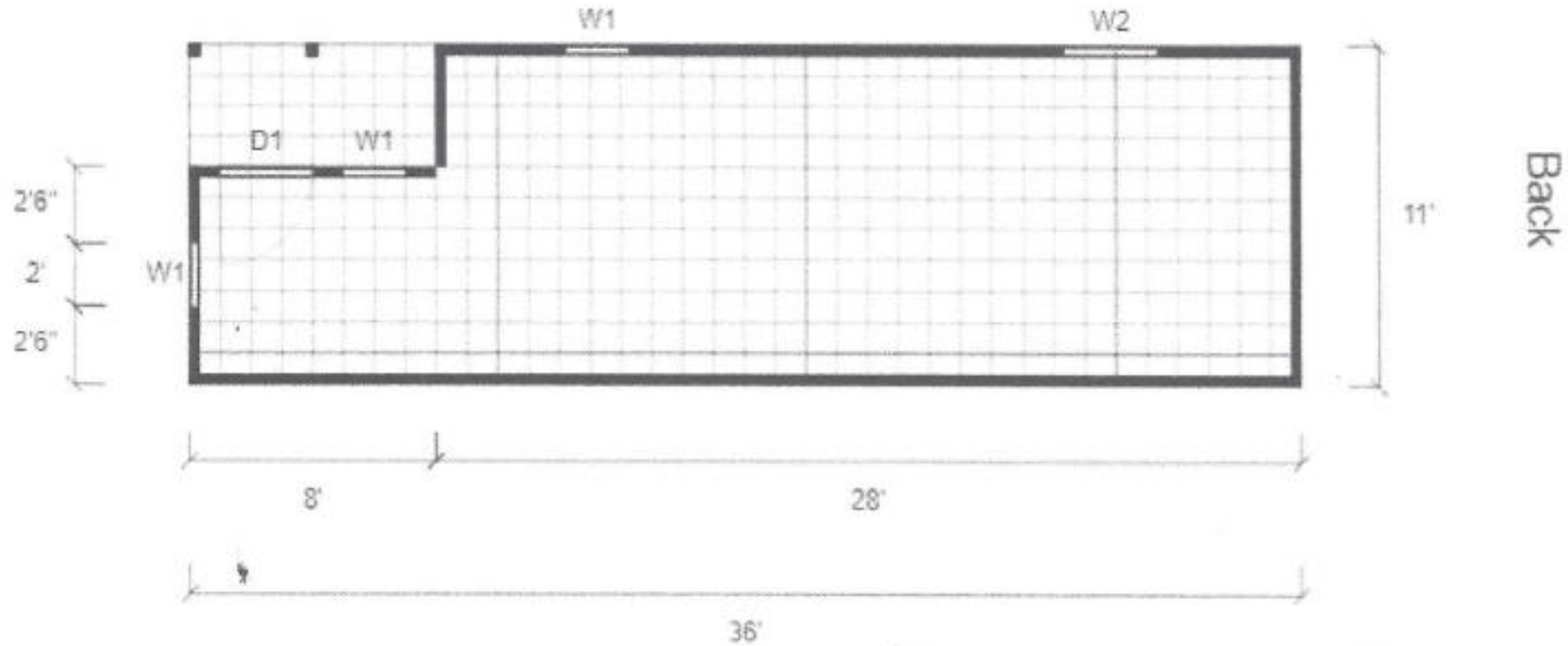
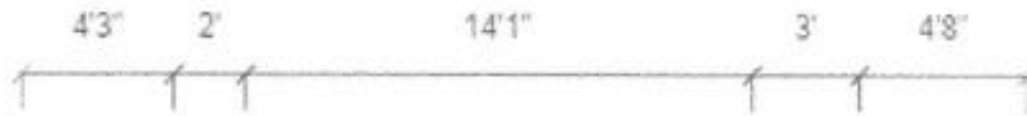
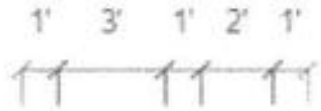


This is a wood frame building 12 x 36 with a 4 x 8 porch. It will have 400 square feet of heated space that will include a bedroom, bathroom, utility room, kitchen and living area. The building is all wood framed with wood siding material and a metal roof.

The walls are 8 foot tall framed with 2 x 4's on 16" centers and wood roof trusses on 24" centers. The exterior walls and ceiling will be insulated and finished with wood paneling and vinyl floor covering. The building will be anchored to the ground with factory installed anchor straps and supported on concrete block piers.

Proposed Layout

SYMBOL LEGEND			
W1	2x3 Window	W2	3x5 Thermal-Pane Window
D1	36" 9-Lite Pre-Hung Door		Closed Wall



Relevant Code

Sec. 40-524. Accessory building, structure, or use.

- (a) *Yard location.* Accessory buildings, structures, and uses shall be located in a rear yard or side yard, unless otherwise specifically provided in this chapter.
- (b) *Setback.* Accessory buildings, unless otherwise specifically provided, shall be located a minimum of ten feet from any side or rear property line. Minor accessory structures as defined by the Zoning Administrator which do not constitute buildings shall be located a minimum of five feet from any side or rear property line.
- (c) *Height.* Accessory buildings shall not exceed two stories or 24 feet in height in residential zoning districts.
- (d) *Size limitations.* Except in agricultural zoning districts, in no case shall an accessory building or structure exceed the square footage of the principal building or structure to which it is accessory.
- (e) *Timing.* No accessory building, structure, or use shall be erected on a lot until construction of the principal building or establishment of principal use has commenced. Accessory buildings and structures must be constructed in conjunction with, or after, a building permit for the principal building is lawfully approved or use is established.

(Code 1997, § 40-701; Ord. of 2-6-2012, § 1(40-701))

Relevant Code

Sec. 40-525. Accessory dwelling unit; detached or attached.

In zoning districts where permitted, accessory dwelling units shall meet the following requirements:

- (1) Only one accessory dwelling unit shall be permitted on a lot.
- (2) One additional off-street parking space is required and shall be provided, which must be located in a side or rear yard.
- (3) At least 300 square feet of heated floor area shall be provided per adult occupant. The heated floor area for an accessory dwelling unit shall be at least 300 square feet and shall not exceed 900 square feet or the size of the principal dwelling, whichever is less.
- (4) The entrance to an accessory dwelling unit shall be from a rear or side yard and shall not face the street to which the principal dwelling is oriented.
- (5) Accessory dwelling units, whether attached or detached, shall have exterior finishes or architectural treatments (e.g., brick, wood, stucco, etc.) of an appearance substantially similar to those on the principal dwelling.
- (6) The county health department must certify that existing or proposed water, sanitary sewer, or septic tank facilities are adequate to serve both the principal dwelling and the accessory dwelling unit.
- (7) Either the accessory dwelling unit or the principal dwelling unit shall be owner-occupied.

(Code 1997, § 40-702; Ord. of 2-6-2012, § 1(40-702))

Comments from Hal Chitwood, Bureau Veritas

1. A few concerns with this structure:
2. First, you do not want to set precedence for future tiny homes. Conditions can be placed on the temporary allowance of the accessory structure as a dwelling. Also add these conditions
 - a. Structure is to be removed from the property once it ceases to be occupied, or
 - b. Structure may remain as an accessory for a new permitted single family dwelling constructed on site.
 - c. No other occupant permitted once structure becomes unoccupied by current occupant.
 - d. Only one occupant permitted to occupy dwelling.
3. Require the removal of the dilapidated structure prior to the placement of the accessory structure.
4. Accessory structure shall meet all of the structural requirements for a single family dwelling.
 - a. Placed on a slab or have minimum 18" clearance between ground and bottom of floor joists.
 - b. Floors carry a minimum of 40 psf for loads.
 - c. Emergency egress where required
 - d. Heat cannot be provided by portable units
 - e. Kitchen must include a cooktop and oven
 - f. All rooms must meet minimum requirements for square footage



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GENERAL INFORMATION

Name of Applicant: Frank Kitchens Date of Application: 12.9.21
 Address of Applicant: 886 Airport RD Oxford GA 30054
 Telephone # (s) of Applicant: 478-255-0186
 Address / Subdivision / Lot# / Parcel#(s) where the proposed work will occur (list all): 107 E Soule St #B 30054
 Owner of above location(s): Front yard residential
 Name of General Contractor (if different from Applicant): _____

Type of work: New building Addition Alteration Renovation Repair Moving
 Land Disturbance Demolition Other

Type of dwelling: Single Family Multi-family Included Apartment Number of units: _____

Briefly describe the proposed work: replace toilet, replace vanity, replace electrical wire.

Does the proposed work change the footprint (ground outline) of any existing structures? YES NO

Does the proposed work add a structure(s)? YES NO

List additions to: Heated Sq.ft. _____ Unheated Sq.ft. _____ Garage Sq.ft. _____ New Sq.ft. _____

Is the above lot in the Special Flood Hazard Area on FEMA's Flood Insurance Rate Map? Yes No
 (Map available from City Clerk)

ZONING DISTRICT (the setback requirements and the zoning map are available from the City Clerk)

Zoning District R 15

Setback Requirements:

Front setback 30 ft. Side setback 10 ft. Rear setback 25 ft.

Minimum required lot width at building line 75 ft.

MECHANICAL INFORMATION (if utility work is included in the proposed work)

- A) Sewerage: Is there a change? Yes No City Sewer Septic If so, describe: _____
- B) Water Supply: Is there a change? Yes No City Water Well If so, describe: _____
- C) Number of Restrooms (Commercial): Is there a change? Yes No Full Half If so, describe: _____
- D) Number of Baths (Residential): Is there a change? Yes No Full Half If so, describe: _____
- E) Heating: Is there a change? Yes No Electric Gas Oil Propane Other If so, describe: _____
- F) Electrical: 0 number of outlets

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